



051020

GENERAL NOTES

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.

ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'.

DO NOT SCALE DRAWINGS.

USE FIGURED DIMENSIONS ONLY.

- SITE AND DEMOLITION NOTES
1. CONTRACTOR TO MAKE THEMSELVES AWARE OF ALL EXISTING CONDITIONS PRIOR TO START OF WORKS INCLUDING ACCESSING "DIAL BEFORE YOU DIG" INFORMATION AND ALL EXISTING AUTHORITIES INFRASTRUCTURES WITHIN AND AROUND THE SUBJECT SITE AND RELATING TO THE WORKS.

2. THIS DRAWING TO BE READ IN CONJUNCTION WITH SITE SURVEY INFORMATION FOR ALL EXISTING CONDITIONS, LEVELS AND SERVICES.

3. CONTRACTORS TO PROTECT AND MAINTAIN ALL ADJOINING EXISTING STRUCTURES TO BE RETAINED.

4. ACCESS TO EXISTING NEIGHBOURING PROPERTIES TO BE MAINTAINED DURING THE WORKS.

5. REFER CIVIL ENGINEERING DOCUMENTATION FOR EXTENT AND SCOPE OF ALL DRAINAGE WORKS.

6. REFER STRUCTURAL DRAWINGS FOR TEMPORARY RETAINING AND SUPPORT STRUCTURES.

7. CONTRACTORS TO ALLOW FOR DEMOLITION AND SAFE REMOVAL OF ALL EXISTING STRUCTURES AS NOTED, INCLUDING ASSOCIATED AUTHORITIES SERVICES/ INFRASTRUCTURES WITHIN THE SUBJECT SITE.

8. CONTRACTOR TO PROVIDE ALL NECESSARY PROTECTION WORKS NOTICES AND DILAPIDATION REPORTS FOR ALL ADJACENT NEIGHBOURING STRUCTURES.

9. UNLESS NOTED OTHERWISE ALL TREES ON SITE ARE TO BE RETAINED AND PROTECTED DURING CONSTRUCTION. AN ARBORIST IS TO BE APPOINTED PRIOR TO COMMENCING CONSTRUCTION TO ADVISE ON TREE PROTECTION WORKS IN ACCORDANCE WITH DETAILS OUTLINED IN THE SPECIFICATION.

10. CONTRACTOR PARKING AND SITE SHED LOCATIONS TO BE CONFIRMED.

DRAWING LEGEND

SITE BOUNDARY

CONTRACTOR SITE BOUNDARY - MAIN WORKS

CONTRACTOR SITE BOUNDARY - LANDSCAPE WORKS

STRUCTURES TO BE DEMOLISHED

CONTRACTOR SITE BOUNDARY

WATER LINES & JUNCTION

GAS LINES

SEWER LINES AND SEWER PIT

FIRE LINES

ELECTRICAL LINES

TELECOM LINE

TPZ

TREE PROTECTION ZONE  
Existing Tree to be retained and protected during construction in accordance with Arborist assessment and architectural specification

- EXISTING BUILDING REPAIRS SCHEDULE
1. REFER TO ALL NOTES ON DRAWINGS.

2. REFER TO SPECIFICATIONS.

3. MAKE GOOD PAINT FINISHES IN ALL AREAS OF DEMOLITION + ALTERATION.

4. WHERE CEILINGS + WALLS REQUIRE PATCHING + PAINTING, ALLOW TO REPAIR FULL WALL/CEILING.

5. RELOCATE GPO'S + SWITCHES FROM DEMOLISHED WALLS.

6. MAKE GOOD SKIRTINGS + INSTALL NEW SKIRTINGS WHERE REQUIRED TO ACHIEVE UNIFORM FINISH.

7. ADVISE ARCHITECT WHERE ANY EXISTING CONDITIONS DIFFER FROM THOSE DOCUMENTED.

8. REPAIR DUCTWORK/REPLACE MISSING OR BROKEN BRICKS.

9. ALLOW TO CLEAN AND REPAINT EXTERNAL WALLS OF COMMUNITY HALL.

10. ALLOW TO REMOVE ALL EXTERNAL PIPES, CONDUITS AND CONNECTIONS TO ABOLISHED SERVICES THAT ARE NO LONGER IN USE.

REPORTING

CONTRACTOR TO UNDERTAKE FULL DILAPIDATION SURVEY PRIOR

01	17/12/20	Tender Issue	TDH	
rev	date	name	by	chk

first studio architecture interiors landscape urban community

melbourne sydney uk

Level 2, 56 Hardware Lane t +61 3 9604 2600 w firststudio.com

fjmt

project

**Fleming Park**  
47-51 Albert Street & 96 Victoria Street  
Brunswick East Victoria 3057

title

**Site Plan - Existing**

scale

1:500 @ A1

first issued

17/12/20

project code

sheet no.

revision

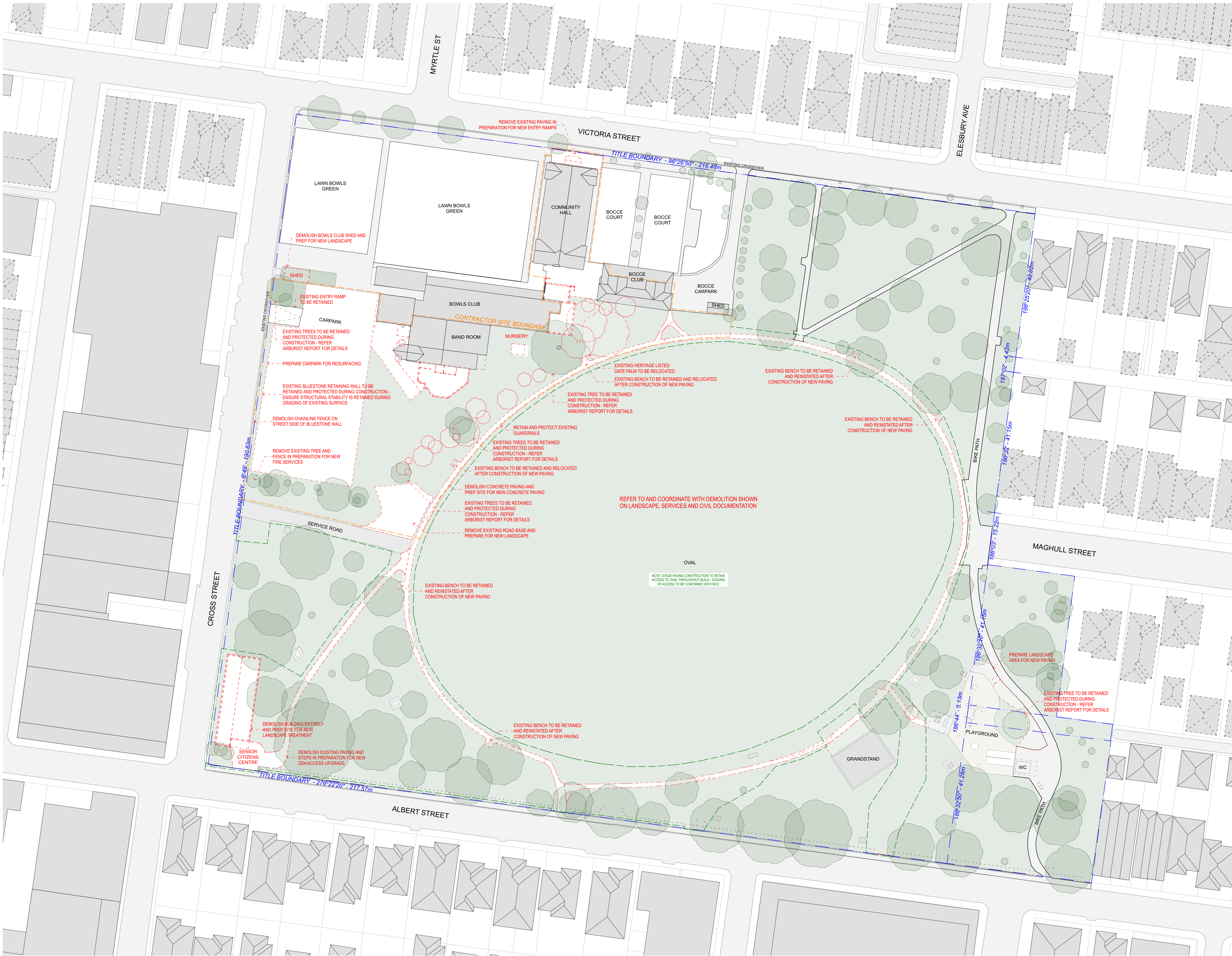
FPM

12001

01

For Information





051020m

GENERAL NOTES

ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.  
ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'.  
DO NOT SCALE DRAWINGS.  
USE FIGURED DIMENSIONS ONLY.

Legend

SITE BOUNDARY

CONTRACTOR SITE BOUNDARY - MAIN WORKS

CONTRACTOR SITE BOUNDARY - LANDSCAPE WORKS

STRUCTURES TO BE DEMOLISHED

CONTRACTOR SITE BOUNDARY

WATER LINES & JUNCTION

GAS LINES

SEWER LINES AND SEWER PIT

FIRE LINES

ELECTRICAL LINES

TELECOM LINE

TPZ

TPZ  
Tree Protection Zone  
Existing Tree to be retained and protected during construction in accordance with Arborist assessment and architectural specification

SITE AND DEMOLITION NOTES

1. CONTRACTOR TO MAKE THEMSELVES AWARE OF ALL EXISTING CONDITIONS PRIOR TO START OF WORKS INCLUDING ACCESSING "DIAL BEFORE YOU DIG" INFORMATION AND ALL EXISTING AUTHORITIES INFRASTRUCTURES WITHIN AND AROUND THE SUBJECT SITE AND RELATING TO THE WORKS.  
2. THIS DRAWING TO BE READ IN CONJUNCTION WITH SITE SURVEY INFORMATION FOR ALL EXISTING CONDITIONS, LEVELS AND SERVICES.  
3. CONTRACTORS TO PROTECT AND MAINTAIN ALL ADJOINING EXISTING STRUCTURES TO BE RETAINED.  
4. ACCESS TO EXISTING NEIGHBOURING PROPERTIES TO BE MAINTAINED DURING THE WORKS.  
5. REFER CIVIL ENGINEERING DOCUMENTATION FOR EXTENT AND SCOPE OF ALL DRAINAGE WORKS.  
6. REFER STRUCTURAL DRAWINGS FOR TEMPORARY RETAINING AND SUPPORT STRUCTURES.  
7. CONTRACTORS TO ALLOW FOR DEMOLITION AND SAFE REMOVAL OF ALL EXISTING STRUCTURES AS NOTED, INCLUDING ASSOCIATED AUTHORITIES SERVICES/ INFRASTRUCTURES WITHIN THE SUBJECT SITE.  
8. CONTRACTOR TO PROVIDE ALL NECESSARY PROTECTION WORKS NOTICES AND DILAPIDATION REPORTS FOR ALL ADJACENT NEIGHBOURING STRUCTURES.  
9. UNLESS NOTED OTHERWISE ALL TREES ON SITE ARE TO BE RETAINED AND PROTECTED DURING CONSTRUCTION. AN ARBORIST IS TO BE APPOINTED PRIOR TO COMMENCING CONSTRUCTION TO ADVISE ON TREE PROTECTION WORKS IN ACCORDANCE WITH DETAILS OUTLINED IN THE SPECIFICATION.  
10. CONTRACTOR PARKING AND SITE SHED LOCATIONS TO BE CONFIRMED

DRAWING LEGEND

1. REFER TO ALL NOTES ON DRAWINGS.  
2. REFER TO SPECIFICATIONS.  
3. MAKE GOOD PAINT FINISHES IN ALL AREAS OF DEMOLITION + ALTERATION.  
4. WHERE CEILINGS + WALLS REQUIRE PATCHING + PAINTING, ALLOW TO REPAINT FULL WALL/CEILING.  
5. RELOCATE GPO'S + SWITCHES FROM DEMOLISHED WALLS.  
6. MAKE GOOD SKIRTINGS + INSTALL NEW SKIRTINGS WHERE REQUIRED TO ACHIEVE UNIFORM FINISH.  
7. ADVISE ARCHITECT WHERE ANY EXISTING CONDITIONS DIFFER FROM THOSE DOCUMENTED.  
8. REPAIR DUCTWORK/REPLACE MISSING OR BROKEN BRICKS.  
9. ALLOW TO CLEAN AND REPAINT EXTERNAL WALLS OF COMMUNITY HALL.  
10. ALLOW TO REMOVE ALL EXTERNAL PIPES, CONDUITS AND CONNECTIONS TO ABOLISHED SERVICES THAT ARE NO LONGER IN USE.

REPORTING

CONTRACTOR TO UNDERTAKE FULL DILAPIDATION SURVEY PRIOR

01 17/12/20 Tender Issue TDH

rev date name by chk

first studio architecture interiors landscape urban community melbourne sydney uk  
Level 2, 56 Hardware Lane t +61 3 9604 2500 w firststudio.com

project  
Fleming Park  
47-51 Albert Street & 96 Victoria Street  
Brunswick East Victoria 3057

title  
Site  
Site Plan - Demolition

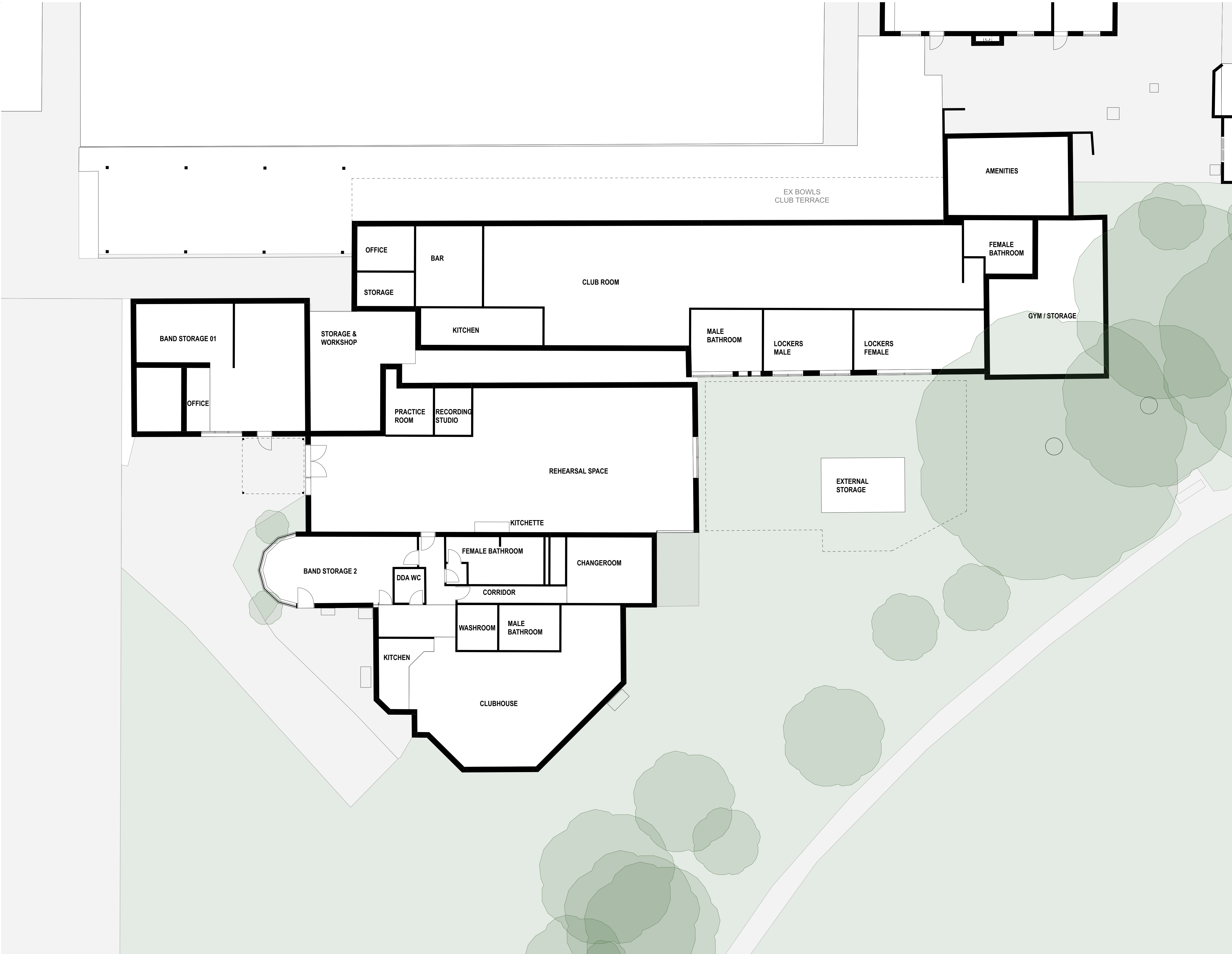
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project code sheet no. revision  
FPM 12002 01

For Information







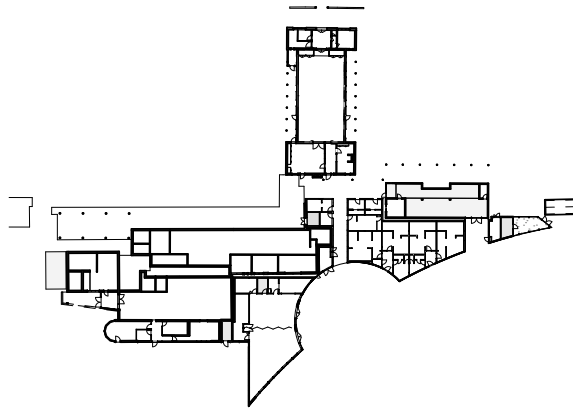


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**GENERAL NOTES**

- ALL DIMENSIONS AND EXISTING CONDITIONS
- SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'.
- DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY.

legend



01	17/12/20	Tender Issue	TDH
rev	date	name	by chk

fjmt studio architecture interiors landscape urban community  
melbourne sydney uk  
Level 2, 56 Hardware Lane t +61 3 9604 2500 w fjmtstudio.com



project  
**Fleming Park**  
47-51 Albert Street & 96 Victoria Street  
Brunswick East Victoria 3057

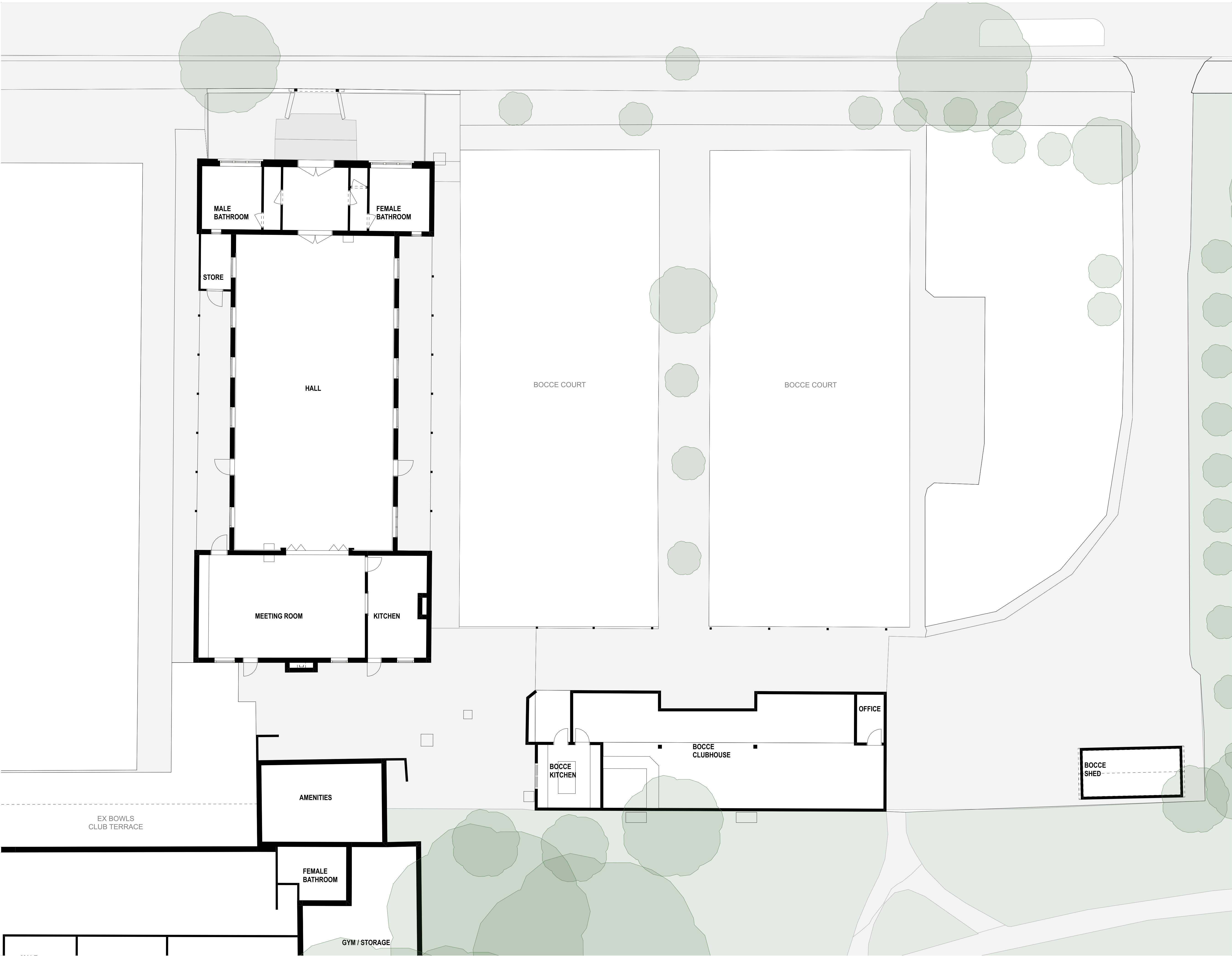
title  
**Existing  
Bowls Club, Lacrosse Club & Band Room  
- Existing**

scale 1:100 @ A1 first issued 17/12/20

project code	sheet no.	revision
FPM	20001	01

For Information





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GENERAL NOTES

ALL DIMENSIONS AND EXISTING CONDITIONS

◦ SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.

◦ ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'.

◦ DO NOT SCALE DRAWINGS

◦ USE FIGURED DIMENSIONS ONLY.

legend

01

17/12

/20

Tender Issue

TDH

rev

date

name

by

chk

fjmt studio architecture interiors landscape urban community

melbourne sydney uk

Level 2, 56 Hardware Lane t +61 3 9604 2500 w fjmtstudio.com

fjmt

project

Fleming Park

47-51 Albert Street & 96 Victoria Street

Brunswick East Victoria 3057

title

Existing

Community Hall & Bocce Club - Existing

scale

1:100 @ A1

first issued

17/12/20

project code

sheet no.

revision

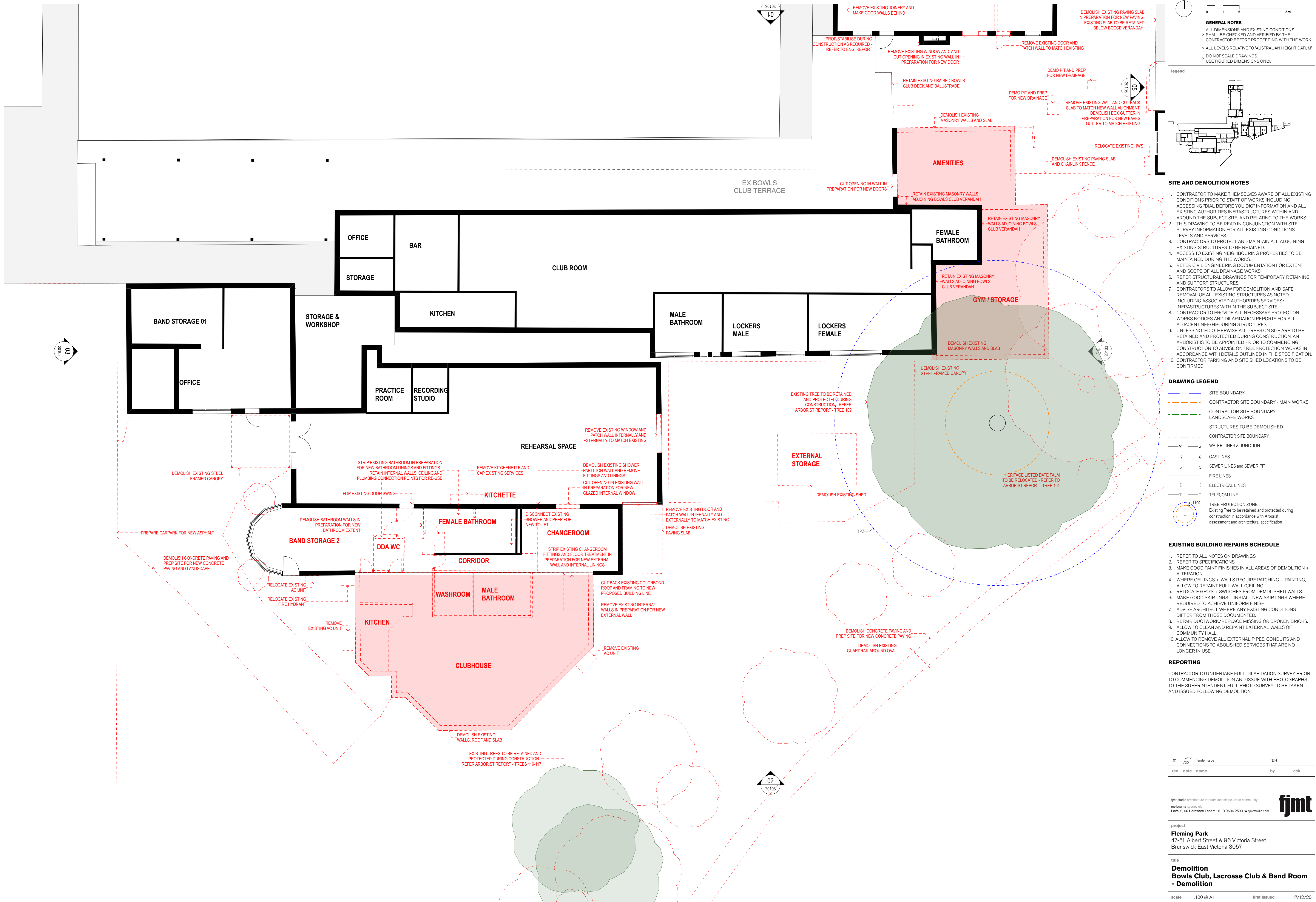
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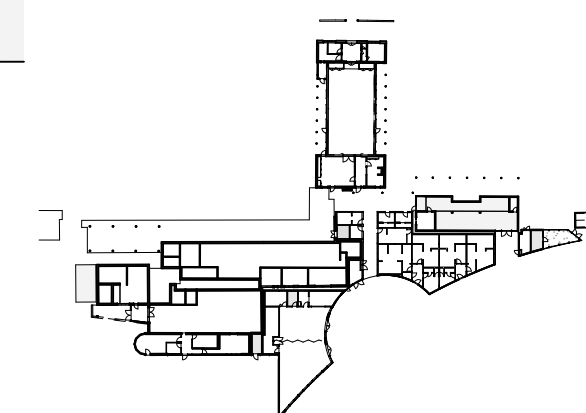
For Information





For Information





1. CONTRACTOR TO MAKE THEMSELVES AWARE OF ALL EXISTING CONDITIONS PRIOR TO START OF WORKS INCLUDING ACCESSING "DIAL BEFORE YOU DIG" INFORMATION AND ALL EXISTING ABOVE GROUND INFRASTRUCTURES WITHIN AND AROUND THE SUBJECT SITE RELATING TO THE WORKS.
2. THIS DRAWINGS TO BE READ IN CONJUNCTION WITH SITE SURVEY INFORMATION FOR ALL EXISTING CONDITIONS, LEVELS AND SERVICES.
3. UTILITIES OWNERS TO PREPARE AND MAINTAIN ALL ADJOINING EXISTING STRUCTURES TO BE RETAINED.
4. ACCESS TO EXISTING NEIGHBOURING PROPERTIES TO BE MAINTAINED DURING THE WORKS.
5. REFER CIVIL ENGINEERING DOCUMENTATION FOR EXTENT AND SCOPE OF ALL EXISTING SERVICES.
6. REFER STRUCTURAL DRAWINGS FOR TEMPORARY RETAINING AND SUPPORT STRUCTURES.
7. CONTRACTORS TO ALLOW FOR DEMOLITION AND SAFE REMOVAL OF ALL EXISTING STRUCTURES AS NOTED.
8. INCLUDING ASSOCIATED SERVICES, UTILITIES AND INFRASTRUCTURES WITHIN THE SUBJECT SITE.
9. CONTRACTOR TO PROVIDE ALL NECESSARY PROTECTION WORKS NOTICES AND DILAPIDATION REPORTS FOR ALL ADJACENT NEIGHBOURING STRUCTURES.
10. UNLESS NOTED OTHERWISE, ALL TREES ON SITE ARE TO BE RETAINED AND PROTECTED DURING CONSTRUCTION. AN ARBORIST IS TO BE APPOINTED PRIOR TO COMMENCING CONSTRUCTION TO ADVISE ON TREE PROTECTION WORKS IN ACCORDANCE WITH DETAILS OUTLINED IN THE SPECIFICATION.
11. CONTRACTOR PARKING AND SITE SHED LOCATIONS TO BE CONFIRMED.

SITE BOUNDARY  
 CONTRACTOR SITE BOUNDARY - MAIN WORKS  
 CONTRACTOR SITE BOUNDARY - LANDSCAPE WORKS  
 STRUCTURES TO BE DEMOLISHED  
 CONTRACTOR SITE BOUNDARY  
 WATER LINES & JUNCTION  
 GAS LINES  
 SEWER LINES AND SEWER PIT  
 FIRE LINES  
 ELECTRICAL LINES  
 TELECOM LINES  
 TREE PROTECTION ZONE  
 Existing Tree to be retained and protected during construction in accordance with Arborist assessment and architectural specification

1. REFER TO ALL NOTES ON DRAWINGS.
2. REFER TO SPECIFICATIONS.
3. MAKE GOOD PAINT FINISHES IN ALL AREAS OF DEMOLITION + ALTERATION.
4. WHERE CEILINGS + WALLS REQUIRE PATCHING + PAINTING, ALLOW TO REPAINT FULL WALL/CEILING.
5. RELOCATE GPO'S + SWITCHES FROM DEMOLISHED WALLS.
6. MAKE GOOD SKIRTINGS + INSTALL NEW SKIRTINGS WHERE REQUIRED TO ACHIEVE UNIFORM FINISH.
7. ADVISE ARCHITECT WHETHER ANY EXISTING CONDITIONS DIFFER FROM THOSE DOCUMENTED.
8. REPAIR DUCTWORK/REPLACE MISSED OR BROKEN BRICKS.
9. ALLOW TO CLEAN AND REPAIR EXTERNAL WALLS OF COMMUNITY HALL.
10. ADVISE TO REMOVE ALL EXTERNAL PIPES, CONDUTTS AND CONNECTIONS TO ABOLISHED SERVICES THAT ARE NO LONGER IN USE.

CONTRACTOR TO UNDERTAKE FULL DILAPIDATION SURVEY PRIOR TO COMMENCING DEMOLITION AND ISSUE WITH PHOTOGRAPHS TO THE SUPERINTENDENT. FULL PHOTO SURVEY TO BE TAKEN AND ISSUED FOLLOWING DEMOLITION.

01	17/12 /20	Tender Issue	TDH	
rev	date	name	by	chk

fjmt studio architecture interiors landscape urban community  
melbourne sydney uk  
Level 2, 58 Hardware Lane t +61 3 9604 2500 w [fjmtstudio.com](http://fjmtstudio.com)

project

**Fleming Park**

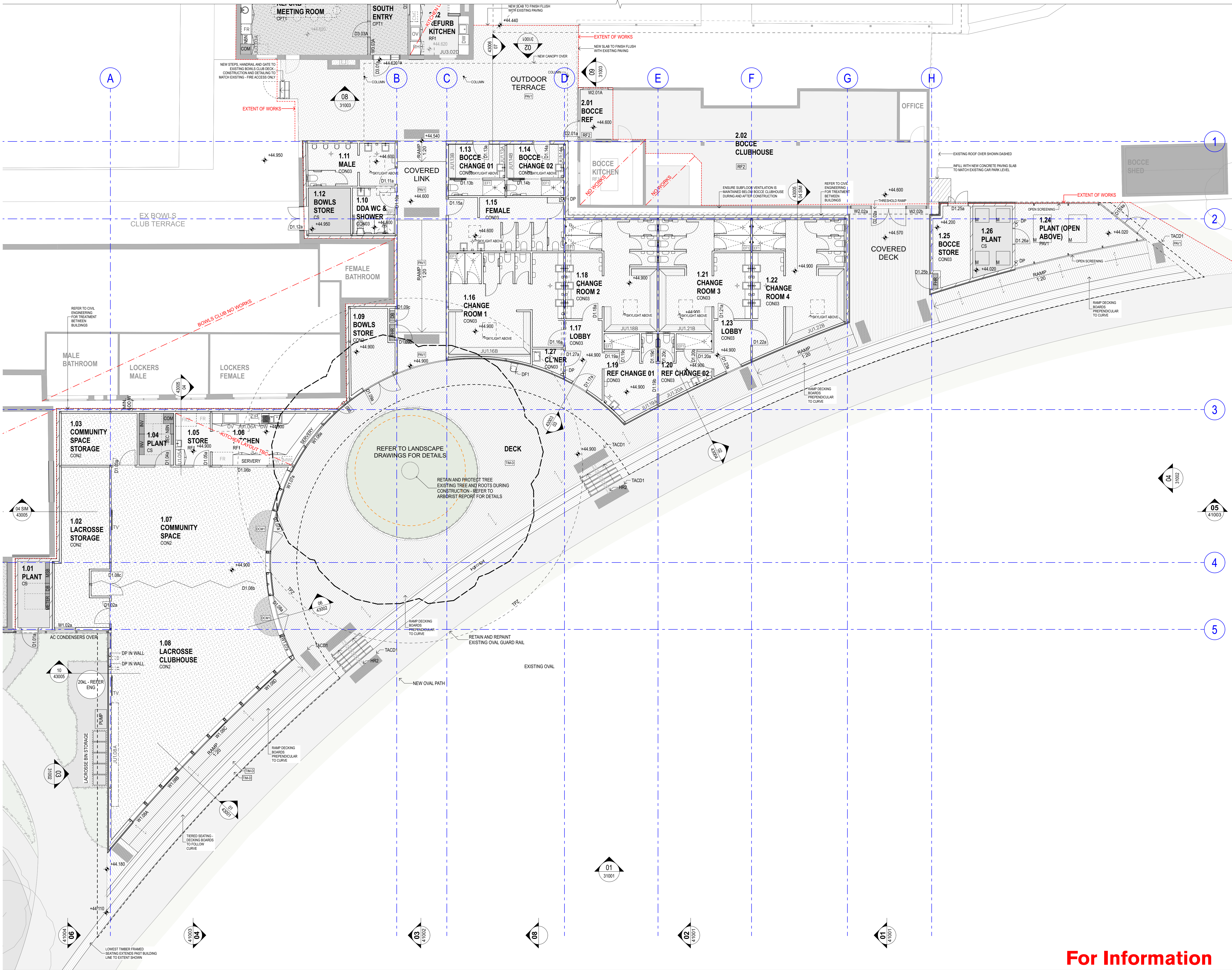
47-51 Albert Street & 96 Victoria Street  
Brunswick East Victoria 3057

title  
**Demolition  
Community Hall & Bocce Club -  
Demolition**

scale	1:100 @ A1	first issued	17/12/20
project code	sheet no.	revision	
<b>FPM</b>	<b>20102</b>	<b>01</b>	

## For Information





**GENERAL NOTES**

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY.

Legend

**GENERAL ARRANGEMENT NOTES**

- THIS DRAWING TO BE READ IN CONJUNCTION WITH SITE SURVEY INFORMATION FOR ALL EXISTING CONDITIONS, LEVELS AND SERVICES.
- CONTRACTOR TO REFER TO LANDSCAPE AND CIVIL DOCUMENTATION AND ALLOW FOR ALL REQUIRED SPOIL REMOVAL/CLEAN FILL TO ACHIEVE THE NOMINATED FINISHED SITE LEVELS.

**FLOOR FINISHES**

- FFL +0.000 FLOOR FINISH LEVELS
- XXX# FLOOR FINISH - REFER INTERIOR FINISH SCHEDULE
- FLOOR BOX TYPE - REFER FF&E SCHEDULE
- CON# CONCRETE SLAB
- CPT# CARPET
- CT# CERAMIC TILE
- DCM# DIRT CONTROL MAT
- RF# RESILIENT FLOORING
- TIM# TIMBER HARDWOOD
- TIM-D TIMBER DECK

01	17/12/20	Tender Issue	TDH	
rev	date	name	by	chk

frnt studio architecture interiors landscape urban community  
melbourne sydney uk  
Level 2, 56 Hardware Lane t +61 3 9604 2500 w frntstudio.com

**fjmt**

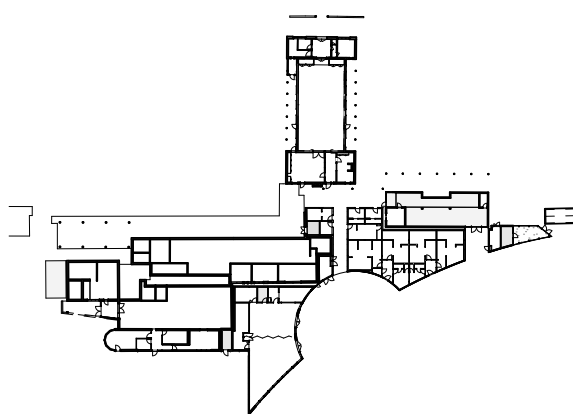
project  
**Fleming Park**  
47-51 Albert Street & 96 Victoria Street  
Brunswick East Victoria 3057

title  
**General Arrangement  
Floor Plan - Lacrosse & Changerooms**

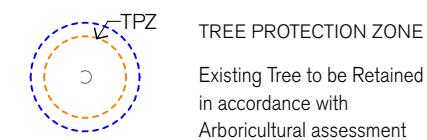
scale	1:100 @ A1	first issued	17/12/20
project code	FPM	sheet no.	20202
		revision	01

For Information





1. THIS DRAWING TO BE READ IN CONJUNCTION WITH SITE SURVEY INFORMATION FOR ALL EXISTING CONDITIONS, LEVELS AND SERVICES.
2. CONTRACTOR TO REFER TO LANDSCAPE AND CIVIL DOCUMENTATION AND ALLOW FOR ALL REQUIRED SPOIL REMOVAL/CLEAN FILL TO ACHIEVE THE NOMINATED FINISHED SITE LEVELS.



+	FFL +0.000	FLOOR FINISH LEVELS
	XXX#	FLOOR FINISH - REFER INTERIOR FINISH SCHEDULE
	REF	FLOOR BOX TYPE - REFER FF&E SCHEDULE
	CON#	CONCRETE SLAB
	CPT#	CARPET
	CT#	CERAMIC TILE
	DCM	DIRT CONTROL MAT
	RF#	RESILIENT FLOORING
	TIM#	TIMBER HARDWOOD
	TIM-D	TIMBER DECK

fjmt studio architecture interiors landscape urban community  
melbourne sydney uk  
Level 2, 56 Hardware Lane t +61 3 9604 2500 w [fjmtstudio.com](http://fjmtstudio.com)

title  
**General Arrangement  
Roof Plan - Lacrosse & Changerooms**

scale	1:100 @ A1	first issued	17/12/20
project code	sheet no.	revision	
<b>FPM</b>	<b>20203</b>	<b>01</b>	



**GENERAL NOTES**

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- SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'.
- DO NOT SCALE DRAWINGS.
- USE FIGURED DIMENSIONS ONLY.

Legend

**GENERAL ARRANGEMENT NOTES**

- THIS DRAWING TO BE READ IN CONJUNCTION WITH SITE SURVEY INFORMATION FOR ALL EXISTING CONDITIONS, LEVELS AND SERVICES.
- CONTRACTOR TO REFER TO LANDSCAPE AND CIVIL DOCUMENTATION AND ALLOW FOR ALL REQUIRED SPOIL REMOVAL/CLEAN FILL TO ACHIEVE THE NOMINATED FINISHED SITE LEVELS.

TREE PROTECTION ZONE  
Existing Tree to be Retained  
In accordance with  
Arbocultural assessment

**FLOOR FINISHES**

FFL +0.000	FLOOR FINISH LEVELS
XXX#	FLOOR FINISH - REFER INTERIOR FINISH SCHEDULE
FF#	FLOOR BOX TYPE - REFER FF&E SCHEDULE
CON#	CONCRETE SLAB
CPT#	CARPET
CT#	CERAMIC TILE
DCM	DIRT CONTROL MAT
RF#	RESILIENT FLOORING
TIM#	TIMBER HARDWOOD
TIM-D	TIMBER DECK

01	17/12	Tender Issue	TDH
rev	date	name	by      chk

fjmt studio architecture interiors landscape urban community  
melbourne sydney ad  
Level 2, 58 Hardacre Lane t +61 3 9604 2500 w [fjmtstudio.com](http://fjmtstudio.com)

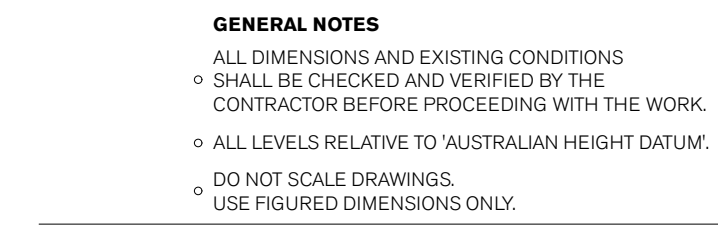
project  
**Fleming Park**  
47-51 Albert Street & 96 Victoria Street  
Brunswick East Victoria 3057

title  
**General Arrangement  
Floor Plan - Band Room**

scale	1:100 @ A1	first issued	17/12/20
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project code	sheet no.	revision
<b>FPM</b>	<b>20205</b>	<b>0</b>





1. THIS DRAWING TO BE READ IN CONJUNCTION WITH SITE SURVEY INFORMATION FOR ALL EXISTING CONDITIONS, LEVELS AND SERVICES.
2. CONTRACTOR TO REFER TO LANDSCAPE AND CIVIL DOCUMENTATION AND ALLOW FOR ALL REQUIRED SPOIL REMOVAL/CLEAN FILL TO ACHIEVE THE NOMINATED FINISHED SITE LEVELS.



FFL +0.000	FLOOR FINISH LEVELS
XXX#	FLOOR FINISH - REFER INTERIOR FINISH SCHEDULE
REV	FLOOR BOX TYPE - REFER FF&E SCHEDULE
CON#	CONCRETE SLAB
CPT#	CARPET
CT#	CERAMIC TILE
DCM	DIRT CONTROL MAT
RF#	RESILIENT FLOORING
TIM#	TIMBER HARDWOOD
TIM-D	TIMBER DECK

fjmt studio architecture interiors landscape urban community  
melbourne sydney uk  
Level 2, 56 Hardware Lane t +61 3 9604 2500 w [fjmtstudio.com](http://fjmtstudio.com)

title  
**General Arrangement  
Roof Plan - Band Room**

scale	1:100 @ A1	first issued	17/12/20
project code		sheet no.	revision
<b>FPM</b>		<b>20206</b>	<b>01</b>

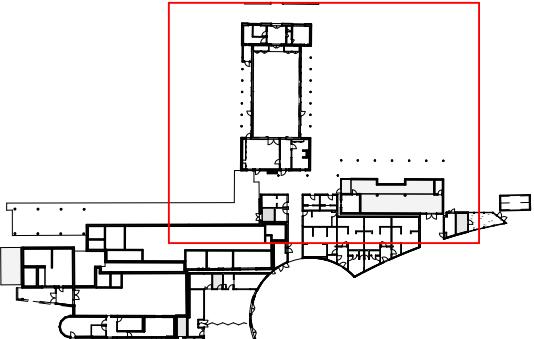


**GENERAL NOTES**

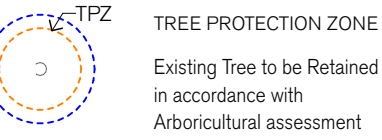
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
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- DO NOT SCALE DRAWINGS.
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Legend

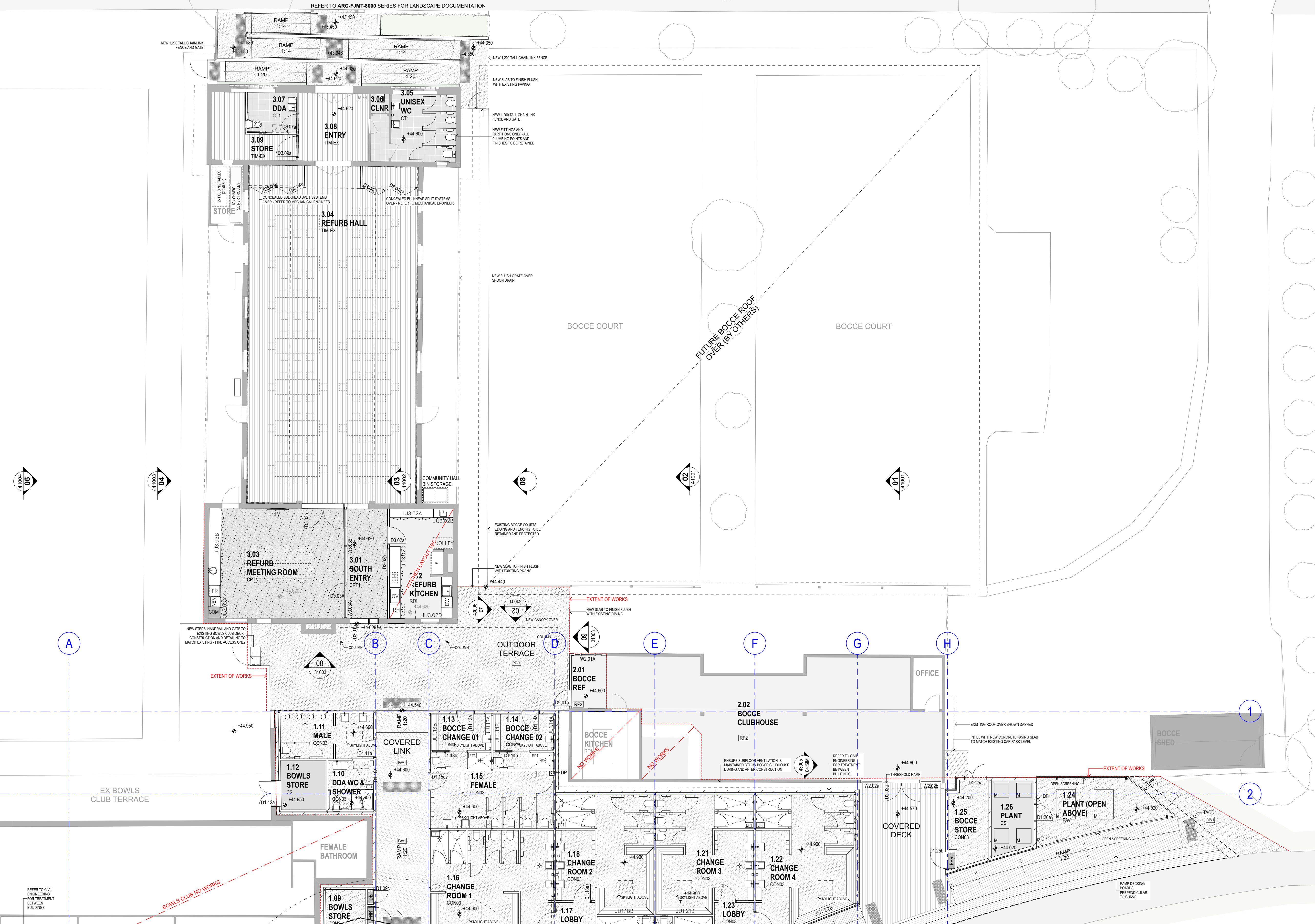
90/90/90 FRL FIRE SEPARATION BETWEEN NEW BUILD AND EXISTING - 90MM BLOCKWORK



- GENERAL ARRANGEMENT NOTES**
- THIS DRAWING TO BE READ IN CONJUNCTION WITH SITE SURVEY INFORMATION FOR ALL EXISTING CONDITIONS, LEVELS AND SERVICES.
  - CONTRACTOR TO REFER TO LANDSCAPE AND CIVIL DOCUMENTATION AND ALLOW FOR ALL REQUIRED SPOIL REMOVAL/CLEAN FILL TO ACHIEVE THE NOMINATED FINISHED SITE LEVELS.



- FLOOR FINISHES**
- FFL +0.000 FLOOR FINISH LEVELS
  - XXX# FLOOR FINISH - REFER INTERIOR FINISH SCHEDULE
  - FLOOR BOX TYPE - REFER FF&E SCHEDULE
  - CON# CONCRETE SLAB
  - CPT# CARPET
  - CT# CERAMIC TILE
  - DCM DIRT CONTROL MAT
  - RF# RESILIENT FLOORING
  - TIM# TIMBER HARDWOOD
  - TIM-D TIMBER DECK



17/12/20	Tender Issue	TDH		
rev	date	name	by	chk

fjmt studio architecture interiors landscape urban community  
melbourne sydney uk  
Level 2, 56 Hardware Lane t +61 3 9604 2500 w fjmtstudio.com

project  
**Fleming Park**  
47-51 Albert Street & 96 Victoria Street  
Brunswick East Victoria 3057

title  
**General Arrangement  
Floor Plan - Community Hall & Bocce Club**

scale	1:100 @ A1	first issued	17/12/20
project code	FPM	sheet no.	20208
		revision	01

For Information



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GENERAL NOTES

ALL DIMENSIONS AND EXISTING CONDITIONS

◦ SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.

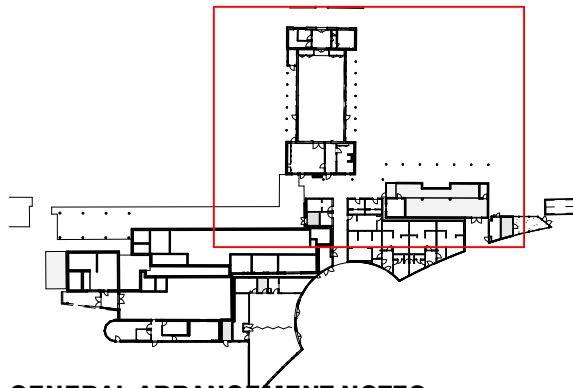
◦ ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'.

◦ DO NOT SCALE DRAWINGS.

◦ USE FIGURED DIMENSIONS ONLY.

legend

90/90/90 FRL FIRE SEPARATION BETWEEN NEW BUILD AND EXISTING - 90MM BLOCKWORK



GENERAL ARRANGEMENT NOTES

- THIS DRAWING TO BE READ IN CONJUNCTION WITH SITE SURVEY INFORMATION FOR ALL EXISTING CONDITIONS, LEVELS AND SERVICES.
- CONTRACTOR TO REFER TO LANDSCAPE AND CIVIL DOCUMENTATION AND ALLOW FOR ALL REQUIRED SPOIL REMOVAL/CLEAN FILL TO ACHIEVE THE NOMINATED FINISHED SITE LEVELS.

TPZ

TREE PROTECTION ZONE

Existing Tree to be Retained in accordance with Arboricultural assessment

FLOOR FINISHES

- + FFL +0.000

FLOOR FINISH LEVELS
- XXX#

FLOOR FINISH - REFER INTERIOR FINISH SCHEDULE
- FLOOR BOX TYPE - REFER FF&E SCHEDULE
- CON#

CONCRETE SLAB
- CPT#

CARPET
- CT#

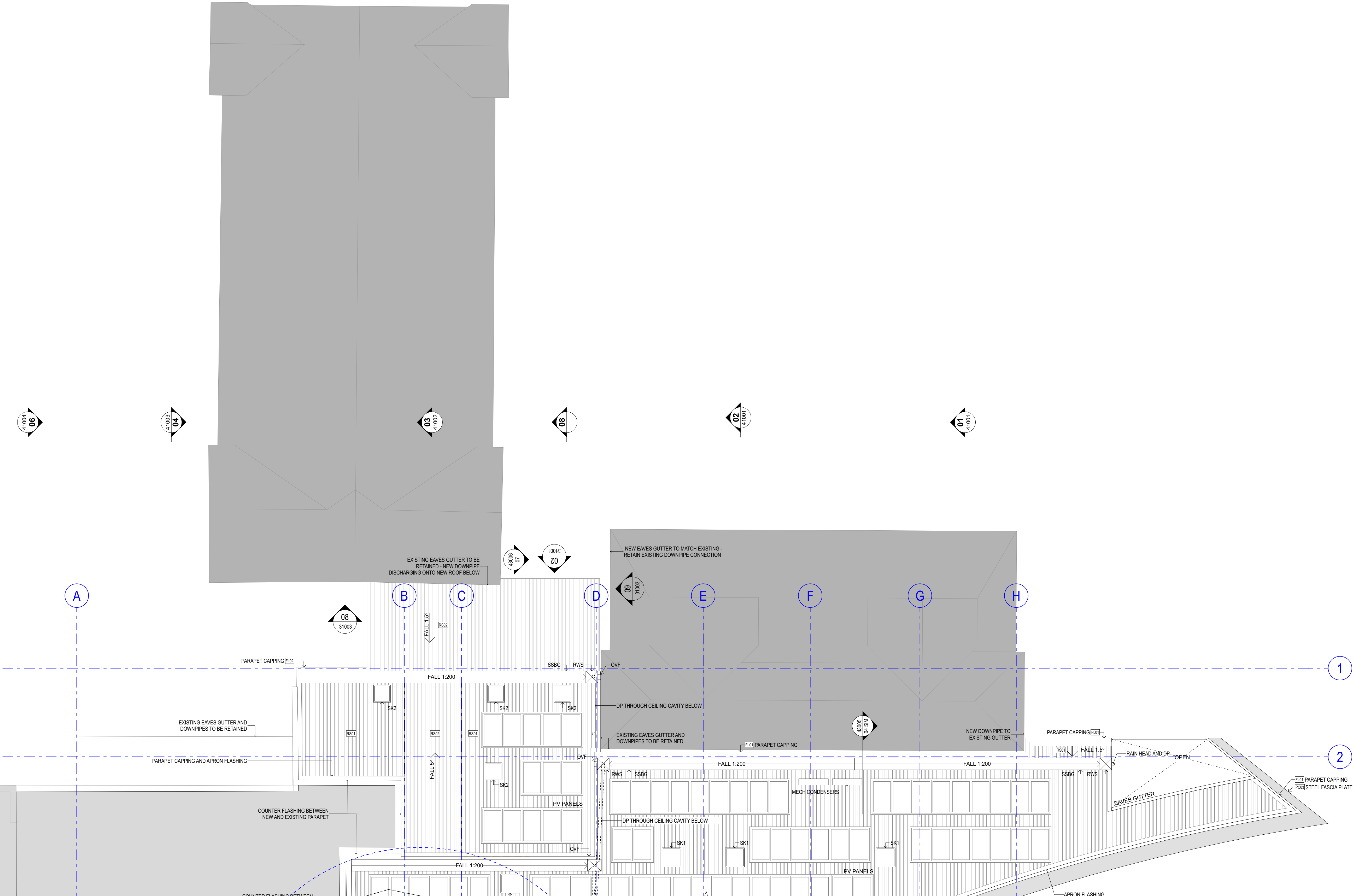
CERAMIC TILE
- DCM

DIRT CONTROL MAT
- RF#

RESILIENT FLOORING
- TIM#

TIMBER HARDWOOD
- TIM-D

TIMBER DECK



For Information

01	17/12/20	Tender Issue	TDH	
rev	date	name	by	chk

first studio architecture interiors landscape urban community  
melbourne sydney uk  
Level 2, 56 Hardware Lane t +61 3 9604 2500 w firststudio.com



project  
**Fleming Park**  
47-51 Albert Street & 96 Victoria Street  
Brunswick East Victoria 3057

title  
**General Arrangement  
Roof Plan - Community Hall & Bocce Club**

scale	1:100 @ A1	first issued	17/12/20
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